

November 18, 2019 7:00 pm
JONES COUNTY BOARD OF COMMISSIONERS
REGULAR MEETING
JONES COUNTY AGRICULTURAL BUILDING, 110 MARKET STREET
TRENTON, NC 28585
MINUTES

COMMISSIONERS PRESENT:

Mike Haddock, Chairman
Frank Emory, Vice-Chairman
Sondra Ipock-Riggs, Commissioner
James Harper, Commissioner
April Aycock, Commissioner
Charlie Dunn, Jr., Commissioner
Charlie Gray, Commissioner

OFFICIALS PRESENT:

Franky J. Howard, County Manager
Brenda Reece, Finance Officer
Angelica Hall, Clerk
Dave Baxter, County Attorney
Jessica Adams, Interim DSS Director
Kyle Smith, JC SWCD, District Technician

COMMISSIONERS ABSENT:

The Chairperson called the meeting to order and Commissioner Charlie Dunn Jr. gave the invocation. **MOTION** was made by Commissioner James Harper, seconded by Commissioner Frank Emory and unanimously carried **THAT** the agenda be **APPROVED** with the following additions:

- 9. Commissioner Emory- Installation of Outlet Plugs
- 10. Commissioner Sondra Ipock-Riggs- Request to speak to DSS

MOTION made by Commissioner Sondra Ipock-Riggs seconded by Commissioner Frank Emory and unanimously carried **THAT** the minutes for the Regular Meeting Minutes on November 4, 2019 be **APPROVED** as presented.

PUBLIC COMMENT PERIOD:

Ann Meadows announced that the Maysville Fire and EMS Parade will be on December 7, 2019 at 11:00 a.m. Also, there will still be judging of floats this year and they have added a Car Contest, which is being sponsored by the White Oak, Jones/Onslow Community Basin Initiative. The car showings will be located at the park.

Sherman Cox, 457 Oak Grove Road, Pollocksville, stated she received a call from a neighbor informing her that the Jones County Police Department were at her house and had just kicked in the door. Ms. Cox stated that there was a search warrant on her table explaining that a Fed Ex package was delivered to her address and the package was suspected to contain drugs.

Ms. Cox stated that there was a gentleman in her yard that received the package but she did not know him. Ms. Cox stated that no one in her family has been in any trouble and that the package was not sent to anyone that lives in the house. Ms. Cox is before the Board requesting information on who is going to repair the door that was damaged by the Jones County Police.

1. ENC SENTINEL LANDSCAPES PARTNERSHIP PROJECT

Ms. Michelle Lovejoy, presented the Board with information on the ENC Sentinel Landscapes Partnership Project. Ms. Lovejoy explained that the Foundation partners with MCIEAST, through an NC State University contract, to assess private landowner willingness to participate in conservation programs. This is information only. A copy of the presented information is marked **EXHIBIT A** and is hereby incorporated and made a part of the minutes.

2. NEUSE REGIONAL LIBRARY UPDATE

Ms. Melanie Morgan, Library Director provided the following updates:

- 21,398 visitors through FY 2018-2019
- 315 programs offered
- 18,150 items were checked out
- 4216 community members utilized the internet and technology tools
- 803 career and technology questions were answered
- Through the partnership with the Library and Jones County Schools, all students in Jones County Public Schools received a free library card.

Ms. Melanie Morgan introduced Ms. Amber Hargett, Head of Childrens' Services in the Neuse Regional System. Ms. Hargett informed the Board that there were STEM Labs at the Jones County Public Libraries, The program is Monday-Thursday after school. Also, announced that through the Jones County Community Foundation Grant they are able to support the program through stem kits, lego kits and launch pads.

3. CHARLEY JONES, PRESIDENT OF THE JONES COUNTY COMMUNITY FOUNDATION

Mr. Charley Jones, President of the Jones County Community Foundation came before the Board to provide information on the Jones County Community Foundation. The Jones County Community Foundation was formed in 2006 by a group of concerned citizens that wanted to find new ways to enrich their community by increasing charitable resources. Each Year the Foundation administers a competitive grant program available to all nonprofit organizations in the county. The Jones County Community Foundation is an affiliate of the North Carolina Community Foundation, which ensures professional stewardship of all funds.

A copy of the JC Community Foundation pamphlet is marked **EXHIBIT B** and is hereby incorporated and made a part of the minutes.

4. UPDATE ON \$750,000 GRANT PROJECT- RYAN COX, HOLLAND AND ASSOCIATES

Mr. Ryan Cox, Holland and Associates, provided the Board the following update. The Grant Agreement should be received in the next 30-45 days. After the agreement is received there will be an Environmental Review Report completed which can take between 60-90 days. Once completed, the report will be submitted to the Department of Commerce for review and then sent to HUD for review. After the review by HUD funds should be released. There still will have to be site surveys completed and other items completed, however, there is an anticipated construction start date around mid to late spring.

5. LOW-INCOME ENERGY ASSISTANCE PROGRAM (LIEAP)

Mrs. Jessica Adams, Interim DSS Director, announced that the Low-Income Energy Assistance Program (LIEAP) was set to start on December 2, 2019. Mrs. Adams explained that households with a person age 60 or older or a disabled person receiving services through the NC Division of Aging and Adult Services can apply from 12/2/2019 - 12/31/2019. All other households can apply beginning 01/02/2020 through 03/31/2020 or until funds are exhausted. A copy of the LIEAP Flyer is marked **EXHIBIT C** and is hereby incorporated and made a part of the minutes.

6. EMERGENCY WATERSHED PROTECTION (EWP)

Mr. Kyle Smith, JC SWCD, District Technician, presented the Board with EWP grant agreement. This item was reviewed and discussed at the Board workshop on November 12, 2019. **MOTION** made by Commissioner Sondra Ipock-Riggs, seconded by Commissioner James Harper, and unanimously carried **THAT** the EWP grant agreement be **APPROVED** as presented. A copy of the statement of work is marked **EXHIBIT D** and is hereby incorporated and made a part of the minutes.

Mr. Dave Baxter presented the Board with the ADS 78 form for approval. **MOTION** made by Commissioner Sondra Ipock-Riggs, seconded by Commissioner James Harper, and unanimously carried **THAT** the ADP 78 Form be **APPROVED** as presented. A copy of the form is marked **EXHIBIT E** and is hereby incorporated and made a part of the minutes.

7. TAX COLLECTION REPORT- OCTOBER 2019

Mr. Franky Howard, County Manager, presented the Board with the Tax Collection Report for October 2019. A copy of the report is marked **EXHIBIT F** and is hereby incorporated and made a part of the minutes.

8. HMGP-HURRICANE MATTHEW ENGINEERING SERVICES

Mr. Franky Howard, County Manager, presented the Board with a recommendation to use Appian Consulting Engineers for the one Elevation project under HMGP for Hurricane Matthew. **MOTION** made by Commissioner Frank Emory, seconded by Commissioner April Aycock, and unanimously carried **THAT** the recommendation to use Appian Consulting Engineers be **APPROVED** as presented. A copy of the proposal is marked **EXHIBIT G** and is hereby incorporated and made a part of the minutes.

9. INSTALLATION OF PLUG OUTLETS FOR THE COMMISSIONERS' WORKSTATION

Commissioner Frank Emory requested that Franky Howard, County Manager, have plug outlets installed on the top of the Commissioners' workstation to make it more accessible to them instead of being on the floor.

10. EMPTY BOWLS GRANT AWARDS

Commissioner Sondra Ipock-Riggs requested information from Mrs. Jessica Adams, Interim DSS Director, in reference to the empty bowls fundraiser. Commissioner Ipock-Riggs stated she was informed that the grant money was spent on chairs and not food to fill the empty bowls. Commissioner Ipock-Riggs stated she was very upset about this and wanted to make sure the funds were being spent appropriately.

COUNTY MANAGER'S REPORT

- USDA BID opening will be November 20, 2019 at 2:00 pm
- County Office will be closed for the Holiday on November 28th and 29th
- Highway 17 Bypass is officially open

COMMISSIONER'S REPORTS

Commissioner April Aycock reported that there were several signs missing on Hwy 17, no signage for Lee's Chapel Road and other roads off the new bypass. Commissioner Aycock inquired if there are any changes in the Fire Districts that they need to be made aware of.

Commissioner Sondra Ipock-Riggs stated that the citizens water should not be turned off if the bill is not paid in 30 days because they cannot afford to pay. Commissioner Ipock-Riggs stated that at no time should we buy sewer or water from any town. Commissioner Ipock-Riggs said that the Board continues to go on about the dogs even after the Commissioners voted against it and all the jobs are being outsourced to other counties.

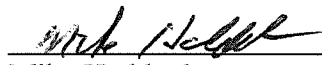
Commissioner James Harper stressed the importance of Economic Development and moving forward for the development and growth of Jones County. Commissioner Harper stated that this is the time to take advantage of the new bypass and the opportunity for the County is now. Commissioner Harper stated we have to take care of the people and the county.

Chairman Mike Haddock announced that there will be a Candlelight Vigil in Raleigh on December 6, 2019 held by the Highway Safety and Mother Against Drunk Driving, also, Dr. Bracy's reception will be on December 6, 2019. Chairman Haddock also requested Franky Howard, County Manager, set up a tour with the Sheriff's Office.

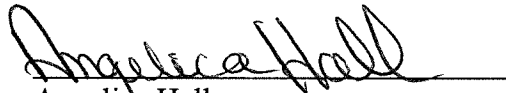
PUBLIC COMMENT

None

MOTION made by Commissioner Charlie Gray, seconded by Commissioner Frank Emory and unanimously carried **THAT** the meeting be **ADJOURNED** at 8:16 p.m.



Mike Haddock
Chairman



Angelica Hall
Clerk to the Board



ENC Sentinel Landscapes Partnership Project
2019 Community and Landowner Outreach
Project Brief 10.25.19

Background: The Eastern North Carolina Sentinel Landscapes Partnership (Partnership) formed in 2010 and received national designation in 2016 for a 33-county area. A Sentinel Landscapes Committee (Committee) was formed in NC general statutes in 2017 and is currently chaired by Agriculture Commissioner Troxler. The Partnership serves as a “think-tank” to the Committee. **Foundation staff are active members of the Partnership, seeking resources to test out innovative conservation strategies.** Currently, the Foundation is working with the Partnership to develop an Agriculture Resilience Initiative.

The Foundation partners directly with MCIEAST, through an NC State University contract, to assess private landowner willingness to participate in conservation programs. Field staff conducts interviews and walks the properties with the owners, recording their natural resource concerns, program eligibility, as well as interest in conservation contracts or term to permanent conservation easements. These activities are occurring in high priority areas for MCIEAST across portions of 5 counties (Carteret, Craven, Jones, Onslow, & Pamlico).

- ✓ 490-parcel database is being maintained
- ✓ direct contact made with 379 landowners
- ✓ 59 natural resource site assessments are complete
- ✓ 27 letters of intent are signed

Current Project: The NC Military Affairs Commission funded the NC Department of Agriculture and Consumer Services to expand the activities of the Committee. The Foundation obtained a subcontract to conduct outreach activities at the community to county level. The Foundation’s work will enable a broader swath of landowners to understand why the Sentinel Landscapes geographic area is important and what the national designation means.

The Partnership has struggled with how to “sell the Sentinel Landscapes Program” to community leaders such as county commissioners. These conservation efforts *are part of a collaborative Partnership*, not a single program, making it very difficult to define in a tangible way. The Foundation is undertaking a two-pronged approach to this issue; 1) educate the general public on conservation programs and tools available, and 2) engage community leaders to determine their needs related to future program development.

Project Goal: *Flip the dynamic of “I’m in a Sentinel Landscape, so what?” to “You are in a Sentinel Landscape, how can we support you?”* The Partnership has done a great job expanding the acreage under permanent protection. Inroads have been made to use conservation agreements as the next best land protection tool after conservation easements. The NC Department of Agriculture is leading the way in these efforts and are at various stages of development with each branch of the military.

What is missing is the broader community engagement piece. An acre of land under protection will only stay a working acre if the surrounding infrastructure is in place to support agriculture and forestry production activities. A great early effort was Food and Fuel for the Forces. By defining these capacity-building needs and bringing resources to the table beyond REPI, the Partnership will have a fully realized Sentinel Landscape.

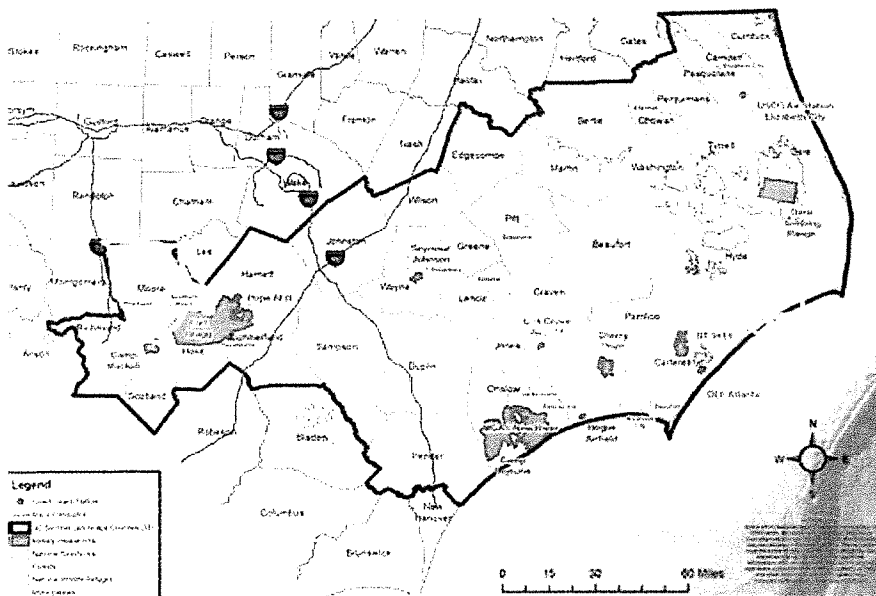
PROCESS

Landowner Outreach Meetings: The Foundation's intent is to facilitate an education process in 5 pilot counties, building off a successful landowner outreach meeting in Jones County in 2016. These meetings are set up as "Conservation Speed Dating" where landowners share the value of participating in conservation programs and local program contacts are available to speak with folks one-on-one. The idea is to lay out the conservation tool box and show non-engaged landowners how the existing conservation programs can fit within their overall land management objectives. A take-away is the *Working Lands Conservation Handbook*, a guide to help families start discussions on long term vision for their natural resource assets. This handbook has won an national Cooperative Extension award and was funded out of past outreach efforts supported by MCIEAST.

Community Leadership Roundtables: The Foundation's intent is to engage agriculture and forestry leaders at the local level in a discussion on "What is a Sentinel Landscape". Leaders will be invited to define local needs and how they want to engage in the Partnership. The end result will be an overarching profile of each county defining levels of interest and engagement and recommendations regarding future program development.

So that this project is supportive of our military partner needs, the following counties were selected for engagement. Military partners were encouraged to consider:

- Look to counties that are not getting any attention in the Sentinel Landscape land protection efforts or the counties with a greater risk for development
- Focus on the "away-space" areas that do not feel the direct economic benefit of the base
- Consider areas that the Air Force wants to grow support in, such as the next priority air space after the Dare County bombing range
- Consider areas with projected road expansions that will increase urban sprawl



Geographic Focus Areas

Army + Ft. Bragg = Moore County

Air Force Seymour Johnson Base +
Dare County Bombing Range =
Hyde & Washington

US Marine Corps / MCIEAST =
Craven & Jones

EXHIBIT B

Jones County Community Foundation?

Why should you use the Jones County Community Foundation?

In the Spring of 2006, a group of concerned Jones County citizens came together to find a new way to enrich their community by increasing its charitable resources. These citizens formed the Jones County Community Foundation. The Board of Directors all live or work in Jones County and serve as volunteers, so they are familiar with the community's needs. The Jones County Community Foundation is an affiliate of the North Carolina Community Foundation, which assures professional stewardship of all funds.

Annual Community Grants Program

Each year the Jones County Community Foundation administers a competitive grant program available to all nonprofit organizations in the county. In 2018, the Jones County Community Foundation and its associated funds distributed more than \$8,000 in grants and scholarships to benefit people and programs in Jones County. Recent grantees include:

- Hummingbird House of Hope
- Jones Co. Community Development Corp.
- RISE
- Comfort Fire Department
- The Filling Station
- Maysville Fire and EMS
- Relay for Life, Jones County –American Cancer Society
- Promise Place
- Jones County Historical Society, Inc.
- Trenton United Methodist Church
- Girl Scouts – NC Coastal Pines

It's Personal:

- Work with an organization with deep roots in the community
- Create a personal legacy or honor someone in your family or community
- Receive highly personalized service tailored to your charitable and financial interests
- Organize all your giving in one place

It's Easy and Cost Effective

- JCCF acts as your personal "back office"
- We take care of all the administrative details
- No reporting, accounting or filing responsibilities
- Low fees (2% to 1% management fee covers all costs of administration)
- Your gift enjoys the maximum tax benefits allowed by law

It's Rewarding

- Tangible community impacts
- Professional staff assures your giving is effective and successful
- Your gift provides funds to support the community for current and future generations

Donate any amount to one of our existing funds or establish your own fund for an initial investment of \$25,000 (scholarship funds require an initial investment of \$40,000).

For information please contact a board member or for confidential inquiries or technical questions, please contact the NCCF Regional Associate, Kim Ball at (252) 288-5706 or kball@nccommunityfoundation.org.

www.nccommunityfoundation.org

When Can I Use the Jones County Community Foundation?

Now:

- Decide what asset to give (cash, securities, real estate, personal property, or other assets)
- Meet with staff to discuss charitable goals
- Establish a fund agreement
- Begin making grants to your favorite nonprofits

Later:

- Identify the charitable fund(s) you wish to support
- Place a bequest distribution in your will
- We also accept planned gift instruments, such as charitable remainder trusts and charitable lead trusts

Types of Funds:

Designated Funds are established by donors to benefit named charitable organizations.

Donor Advised Funds permit donors to have ongoing involvement in the distribution of their gift. Individuals, families, and corporate or local government entities may establish these funds.

Field of Interest Funds allow donors to support a particular field of charitable endeavor, such as youth or education, without restricting assistance to a single institution.

Nonprofit Agency Endowments allow the Board of a nonprofit agency or religious institution to establish an endowment fund to provide ongoing support to that organization.

Scholarship Funds assist students in obtaining an education. Donors have the option of identifying the area of study, specifying the institution and establishing some of the scholarship criteria.

I Support the
**Jones County Community
Foundation**

Enclosed is my tax-deductible gift of \$ _____
for the Jones County Community Foundation's:
____ Community (Unrestricted) Fund

Name _____
Address _____
City, State, Zip _____

Email _____
Phone _____

Special Gifts:

In ☐ Honor of In ☐ Memory of

Name _____
Acknowledgement to be sent to:
Name _____
Address _____
City, State, Zip _____

Matching gift? Please enclose employer's matching gift form.

Make checks payable to the:

Jones County Community Foundation

And mail to our Regional Office:

Jones County Community Foundation
P.O. Box 3411
New Bern, NC 28564

2019 Board of Directors

Charles C. Jones, III, *President*
Gloria Wiggins *Vice President*
Ivy B. Reid, *Secretary/Treasurer*
Victor C. Bryan, *Immediate Past President*

Directors

Jason S. Andrews
Eddie M. Banks
Allen Bender
Eloise S. Body
Jennifer Bruinton
Charles C. Henderson
Elwood Morris
Daniel P. Ryan
Joan Taylor
Michael A. Wilder
Wendy Winslow

What is a Community Foundation

A community foundation is a **tax-exempt, public charity** created by and for the people in a local area. It enables people with charitable interest to easily and effectively **support the issues they care about** – either immediately, or through their wills – by establishing charitable, tax-exempt endowment funds through the foundation.

The North Carolina Community Foundation's Mission is to inspire North Carolinians to make lasting and meaningful contributions to their communities.

J O N E S C O U N T Y
C O M M U N I T Y F O U N D A T I O N



an affiliate of
NORTH CAROLINA COMMUNITY FOUNDATION

Fast Facts

*Enhancing the Quality
of Life in
Jones County*



NC DEPARTMENT OF
**HEALTH AND
HUMAN SERVICES**
Division of Social Services

DO YOU NEED HELP PAYING YOUR HEATING BILLS?

The Low-Income Energy Assistance Program (LIEAP) may be able to help you.

Households with a person age 60 or older or a disabled person receiving services through the NC Division of Aging and Adult Services can apply from December 2, 2019, through December 31, 2019. All households can apply beginning January 2, 2020, through March 31, 2020 or until funds are exhausted.

Contact your local county department of social services for more information.

Households with a Native American adult age 18 and older residing in Cumberland, Hoke, Robeson, and Scotland counties, who wish to apply for LIEAP benefits, must do so through the Lumbee Tribe.

Households that include an enrolled member of the Eastern Band of Cherokee Indians (EBCI) living in the five-county service area of Cherokee, Graham, Haywood, Jackson, and Swain counties, who wish to apply for LIEAP benefits, must do so through the EBCI. This includes enrolled EBCI members on and off the Qualla Boundary in the five counties.

Funds are
Limited,
**APPLY
TODAY!**



Division of Social Services

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Contact your
local county
department of
social services
for more
information.



NC DEPARTMENT OF
**HEALTH AND
HUMAN SERVICES**

Division of Social Services

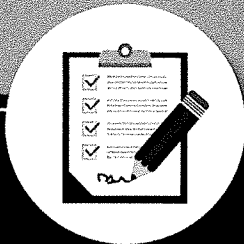
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opportunity employer and provider • 10/19



North Carolina Health and Human Services

Crisis Intervention Program

The Crisis Intervention Program (CIP) is a Federally funded program that may be able to assist you. CIP provides a vendor payment for households that are in a heating or cooling crisis and experiencing a life threatening or health related emergency.



**Applications are
taken beginning**

**July 1, 2019 –
June 30, 2020**

**or until the CIP allocation
is exhausted, whichever
comes first.**

**Contact your local county
department of social services
for more information.**



NC DEPARTMENT OF
**HEALTH AND
HUMAN SERVICES**

Division of Social Services

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BUDGET NARRATIVE – Jones County

EWP – 37-03-18-5038 Sites 336/337/338/339/374/375

A. The estimated construction costs for the Projects:

1. 336: Haddock Site: \$84,500.00 (NC PE Sealed Design Required)
- 337: 2ndStPollocksvilleCemetery: \$106,260.00 (NC PE Sealed Design Required)
- 338: 645HarriettLane: \$89,000.00 (NC PE Sealed Design Required)
- 339: 3rdStPollocksville: \$88,500.00 (NC PE Sealed Design Required)
- 374: 127 HaitiStTrenton: \$28,520.00 (NC PE Sealed Design Required)
- 375: 535OakGroveRdPollocksville: \$29,650.00 (NC PE Sealed Design Required)

Total Estimated Construction Costs: \$426,430.00

The budget includes:

Financial Assistance (FA):

Sites 336/337/338/339/374/375

Available NRCS Construction Assistance (90% NRCS) = \$383,787.00

Technical Assistance (TA):

Sites 336/337/338/339/374/375

Available NRCS Technical Assistance (NRCS TA) = \$63,964.50

2. NRCS pays up to 90 percent of eligible construction costs, and Sponsor pays 10 percent of construction costs. NRCS will contribute up to shown amounts for contract administration and construction management costs. It is possible that technical and administrative costs will exceed this amount, requiring the Sponsor to contribute resources to complete technical and administrative work.
3. NRCS funding for this project is provided to the Sponsor in two separate NRCS funding accounts, one for financial assistance (FA) and one for technical assistance (TA). FA costs are associated with construction activities; TA costs are associated with services. These expenditures shall be accounted for separately in order for expenses to be eligible for reimbursement.
4. NRCS will provide FA for actual costs as reimbursement to the Sponsor for approved on-the-ground construction costs, subject to above limits. If costs are reduced, reimbursement will be reduced accordingly. Construction costs are associated with the installation of the project measures including labor, equipment, materials, testing, and construction inspection including UAV services where applicable for debris removal projects.
5. NRCS will provide TA reimbursement to the Sponsor for technical and administrative costs directly charged to the project, subject to the above limits. If costs are reduced, reimbursement will be reduced accordingly. These costs include
 - a. engineering costs include, but not limited to, developing a project design that includes design reports, construction drawings and specifications, an operation and maintenance



COUNTY OF JONES
JONES COUNTY TAX OFFICE

Hope Avery
 Tax Administrator/Assessor

P.O. BOX 87
 Trenton, NC 28585-0087


Susan Riggs
 Tax Collector

November 5, 2019

Jones County Tax Collector:

For the Month of October:

2019 Levy Collection by Tax Office:	\$ 377,959.05
2019 Levy Collection by NCVTS:	71,724.06
2010-2018 Levy Collection:	22,250.33
Total Levy Collection:	\$ 471,933.44



 Susan B. Riggs
 Jones County Tax Collector

2019 Levy as of 10/31/2019: \$ 6,350,235.21

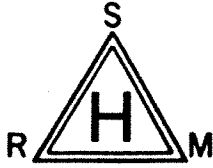
Collected on 2019 Levy as of 10/31/2019: 1,585,366.54

Other Levy Reduction:

Refunds:	(911.63)
Write-Offs:	0.21
Total Levy Reduction:	\$ 1,584,455.12

Percent (%) of Levy Reduced as of 10/31/2019: 24.95%

Percent (%) of Levy Reduced as of 10/31/2018: 25.04%



R S M HARRIS ASSOCIATES, INC.

PLANNERS-CONSULTANTS-DEVELOPERS

POST OFFICE BOX 10037
GOLDSBORO, NORTH CAROLINA 27532
TELEPHONE 919-751-0909

2719 GRAVES DRIVE SUITE 2
GOLDSBORO, NORTH CAROLINA 27534
EMAIL cdharris@rsmharris.com

MEMORANDUM

TO: Franky Howard, County Manager

FROM: C. David Harris, RSM Harris Associates, Inc.

SUBJECT: Procurement of Engineering Services
Jones County HMGP 4285-046 Elevation Project

DATE: November 15, 2019

On September 26, 2019, a "Request for Qualifications" was forwarded to the following firms believed to be interested in providing engineering/inspection/surveying services for the Hurricane Matthew Hazard Mitigation Grant Program - Elevation Project:

1. The Adams Company, Inc - Warsaw, NC
2. Stroud Engineering - Greenville, NC
3. McDavid Associates, Inc. - Farmville, NC
4. Rivers & Associates, Inc - Greenville, NC
5. Avolis Engineering, PA - New Bern, NC
6. Thomas Engineering, PA - New Bern, NC
7. Appian Consulting Engineers, PA - Rocky Mount, NC
8. Robert M. Chiles, P. E. - New Bern, NC
9. Green Engineering, Inc. - Wilson, NC
10. McGill Associates, Inc. - Pinehurst, NC

An advertisement requesting proposals for engineering/inspection/surveying services was printed in the Kinston Free Press on September 29, 2019. The RFQ was also posted on the County's website and the NC Department of Administration Bid Opportunities website for Historically Underutilized Businesses.

As of the deadline for receipt of proposals, October 17, 2019, only one response was received. Due to the limited responses, a second request for qualification process was undertaken. On October 21, 2019, a "Second Request for Qualifications" was forwarded to the following firms to provide engineering/inspection/surveying services for the HMGP Elevation Project:

1. The Adams Company, Inc - Warsaw, NC
2. Stroud Engineering - Greenville, NC
3. McDavid Associates, Inc. - Farmville, NC
4. Rivers & Associates, Inc - Greenville, NC
5. Avolis Engineering, PA - New Bern, NC
6. Thomas Engineering, PA - New Bern, NC
7. Appian Consulting Engineers, PA - Rocky Mount, NC
8. Robert M. Chiles, P. E. - New Bern, NC
9. Green Engineering, Inc. - Wilson, NC
10. McGill Associates, Inc. - Pinehurst, NC

An advertisement requesting proposals for engineering/inspection/surveying services was printed in the Kinston Free Press on October 24, 2019. The RFQ was also posted on the County's website and the NC Department of Administration Bid Opportunities website for Historically Underutilized Businesses.

As of the deadline for receipt of proposals, November 14, 2019, the following firms had responded:

1. Appian Consulting Engineers, PA - Rocky Mount, NC
2. The Adams Company, Inc - Warsaw, NC

The responses and proposals were reviewed and comparisons were made of the following factors:

- General qualifications, reputation and competence of firm.
- Prior HMGP, foundation design, and/or elevation experience of the firm.
- Qualifications/experience of staff assigned to project.
- Ability to address local needs.
- Availability of firm to the County.
- Hourly rate schedule.

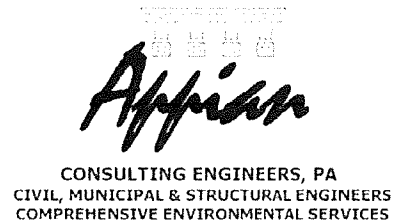
Based upon the selection factors as outlined in the RFQ, we recommend that Appian Consulting Engineers be selected to provide engineering/inspection/surveying services for the HMGP 4285-046 Elevation Project and that the County enter into negotiations with the firm for the cost of providing engineering/inspection/surveying services based on the following reasons. Upon completion of successful negotiations, we recommend the County enter into an agreement for services for the elevation work.

1. The firm has adequate qualified and competent personnel to accomplish the scope of services required. The company's engineering, inspection and surveying personnel are considered very competent. The firms' qualifications, experience, and competency are excellent.
2. The firm is knowledgeable and understands the County's HMGP Elevation Project, having provided similar engineering/inspection services during Hurricanes Fran, Floyd, Isabelle, Irene and Matthew HMGP elevation projects in Craven County, Beaufort County, Hyde County and Pamlico County. The firm has also engineered HMGP elevation projects in Catawba County, New Hanover County, Washington, Belhaven and Carolina Beach. The firm has provided engineering services for over 100 houses in eastern NC.
3. The firm is well established and well respected for providing similar services in other communities and has been providing engineering/inspection/surveying services for over 30 years.
4. The firm's scope and level of service to be provided will be in the overall best interest and most advantageous to the County.
5. The firm is available and prepared to proceed with this project at the desire of the County.
6. The firm's cost of service, based on their hourly rate schedule, appears to be reasonable and is consistent with costs the County has experienced in the past.

If you have any questions, please contact me.

**JONES COUNTY HMGP ELEVATION PROJECT
RATING OF ENGINEERING SERVICES**

	<u>Total Available Points</u>	<u>Appian Engineers Rocky Mount</u>	<u>Adams Company Warsaw</u>
General Qualifications & Competence	20	20	18
Prior HMGP Experience with Similar Projects	20	20	10
Qualifications of Involved Staff	20	20	15
Ability to address local needs	15	14	10
Availability of firm to County	15	12	11
Hourly Rate Schedule	10	9	10
TOTAL POINTS	100	95	75



October 16, 2019

Dear Mr. Howard:

Appian Consulting Engineers, PA, is pleased to submit the attached proposal for the requested services for the work related to the Jones County Hurricane Matthew HMGP.

Our team is eager to provide engineering, inspection and surveying services for this project and is looking forward to working with Jones County. Thank you for allowing us the opportunity to submit this proposal. Please let me know if you have any questions or would like additional information about our team.

Respectfully,

A handwritten signature in black ink, appearing to read "Bobby L. Joyner", is written over a large, light-colored circular mark.

Bobby L. Joyner, P.E.
President

Appian Consulting Engineers, PA

Post Office Box 7966
154 Roundabout Court
Rocky Mount, NC 27084
www.AppianEngineers.com

Bobby L. Joyner, PE, President
252.972.7703, phone
252.972.7638, fax
bjoyner@appianengineers.com

. is an engineering design firm structured to serve North Carolina and southeastern Virginia with our office located in Rocky Mount, North Carolina. Appian has been a reliable presence in eastern North Carolina since its inception in 1986 by its owner and President Bobby L. Joyner, PE. Mr. Joyner's experience is extensive in the area of municipal engineering and design as he worked for the City of Rocky Mount for more than 18 years, with the last four years as the **City of Rocky Mount City Engineer**.

Having worked with municipalities, both on staff and on the supporting consultant basis, we have substantial understanding of the workings of government entities, their needs, and the degree of information exchange that is needed between the private engineering, development, contractor and the public.

Our team's extensive multi-disciplinary experience will ensure that all construction work is performed in conformance with safety requirements, contract requirements, and quality control/ quality assurance practices. Appian will work closely with all parties involved to ensure that a superior construction product is delivered on time and within budget. Hourly rates are attached.

The Appian Team

The Appian Team will consist of the following personnel providing exceptional expertise:

Mr. Joyner obtained his Civil Engineering Diploma in 1972 and became a professional engineer in 1978. He has extensive experience in municipal engineering and planning as he worked for the City of Rocky Mount as the **Rocky Mount City Engineer** (1982-1986) and in the engineering department for more than 18 years. Mr. Joyner has more than *three decades* of experience in design for FMA, HMGP, SRL, CDBG, municipal, industrial, commercial and residential projects including structural and retrofit design, water system distribution, drainage improvements, sewer rehabilitation and sewage pump station design, pier and bridge design, wave modeling, and flood studies. Mr. Joyner provides forensic studies on both mold and crawl space moisture control in commercial and residential buildings. Recognized as an expert in NC and VA, consultants and attorneys frequently refer their clients to Appian for investigations, design and expert testimony in court cases. In addition to acquiring three patents, he has authored a state of the art *Manual of Specifications, Standards and Design*, which Appian has developed for numerous cities in Virginia and North Carolina. He was involved in *all* of Appian's projects listed below. Mr. Joyner will be the Project Engineer and Inspector (as needed) for the project.

Bringing experience from Maryland State Highway Administration and Greenhorne & O'Mara, Mr. Revoir has a broad range of experience in CDBG, municipal, industrial, commercial and residential projects including water distribution analysis, street design, stormwater modeling, sewer design, and erosion control. Mr. Revoir routinely leads

"The construction drawings and specifications that your firm produces are *detailed and comprehensive* and portray a *thorough understanding* of the construction process. As a matter of fact, the U.S. Department of Commerce Economic Development Administration will be using your firm's specifications and contract documents as *the model* for other engineering firms to follow..."

Milton Cochran, Sr.
US Department of Commerce
Economic Development Administration

projects through conceptual layout, detailed design, permitting, contract bidding, construction administration and as-built certification. He is adept at providing railroad design, no-net rise flood studies, SWPPP/SPCC Plans, and swimming pool compliance for the Virginia-Graeme Baker Pool and Spa Safety Act. Contributing author for Stormwater Design for the *Manual of Specifications, Standards and Design*, Mr. Revoir is the engineer for Franklin County Stormwater Review. He has extensive experience with stormwater modeling, stormwater BMP design and writing municipal stormwater ordinances. He is a LEED Accredited Professional (*LEED AP Building Design + Construction*) with the U.S. Green Building Council.

Mr. Gallina has been with Appian for more than 27 years and has extensive experience in creating master plans, site plans, street plans, and profiles, water and sewer lines, grading, and erosion sedimentation control, construction plans, utility plans and staking plans. He has also developed both 3D and isometric details on all our plans to clearly convey the intent of the detail to those in the trenches. As a result, Appian developed catalogues for a number of national precast manufacturers, including: *NC Precast* (Hanson, Needville, TX), *Fralo Plastics* (Syracuse, NY), *Dellinger* (Mecklenburg County, NC), *Mack Industries* (Sharpsburg, NC and Valley City, OH), *Albuquerque Vault* (Albuquerque, NM) and *Ideal Precast* (Raleigh, NC).

graduated in 2013 with a Bachelor of Environmental Design in Architecture from North Carolina State University and brings experience from Tower Engineering Professionals prior to joining the Appian team in 2015. Mr. Reason has experience with municipal, industrial, commercial and residential projects where he provides structural and civil design under the supervision of licensed Professional Engineers. He regularly performs a wide variety of site and structural inspections, and prepares floor plans, life safety plans, Appendix B worksheets. Mr. Reason has managed numerous City of Rocky Mount projects from concept through construction administration and inspections. Mr. Reason is also a certified FAA - UAS remote pilot for commercial drone use, utilizing the latest drone and LiDAR 3D scanning equipment. Mr. Reason will be assisting Mr. Joyner with structural engineering, construction administration and inspections for this project.

The Holland Consulting Planners Team

Our team also includes Holland Consulting Planners, Inc., who has been serving Eastern North Carolina since 1987. Dale Holland started the firm in Wilmington, NC and has more than forty years of planning and administrative experience. The Holland Team will consist of the following personnel:

Mr. Cox is currently pursuing a degree in Political Science from American Military Academy. He began working for Holland Consulting Planners, Inc., in 2019. His principal focus is on community development and management of housing related projects, including acquisition and elevation projects. Mr. Cox has extensive experience in FEMA Hazard Mitigation Assistance grants as a former State Hazard Mitigation Officer for the North Carolina Division of Emergency Management. Mr. Cox will be serving as Project Manager for this project.

Mr. Miller has worked as a Rehabilitation/ Housing Inspector for Holland Consulting Planners, Inc., since 2001. He holds a Level I North Carolina Building Inspector's certification, is a Certified Home Inspector (license #1950), and is certified in Safe Work Practices for Lead-based Paint Hazard Reduction. He has attended numerous continuing education classes, including rehabilitation workshops sponsored by the Division of Community Assistance, North Carolina Housing Finance Agency, and PHRANC. His duties as rehabilitation inspector include compiling bid specifications, preparing cost estimates, preparing change orders and authorization of payments to contractors. In addition, Mr. Miller serves as liaison between contractors, homeowners, local building inspectors and the program administrator for housing-related programs as well as projects involving public works improvements. Mr. Miller will be supervising the contractor on a daily basis while performing interim and final construction inspections.

The Sorrell Land Surveying Team

Our team also includes Sorrell Land Surveying, Inc., of Washington, NC. Sorrell Land Surveying has worked alongside with Appian on many house raising projects in the past. Their scope of services will include property survey and identification of encroachments and easements. Stuart Sorrell will be providing professional surveying services on this project.

Staffing Configuration Chart

Appian Consulting Engineers does not discriminate in any of its projects and activities. No person is denied employment or fair treatment, or is in any way discriminated against, on the basis of race, gender, religion, age, national origin or disability.

Appian will strive to maintain equal participation of _____ and to utilize DBE's to the maximum extent as possible. Appian will use Small Business Administration (SBA) information and other agencies to determine and develop a list of local DBE's qualified for this project. We are committed to advancing the *Historically Underutilized Business* community.

Engineering & Project Experience

Appian has extensive experience with many municipalities ranging from small to large projects, involving a full range of engineering services. As you can see below, Appian has been involved in a plethora of similar projects in eastern North Carolina for the past three decades:

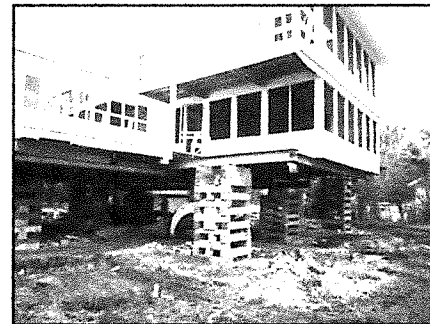
APPIAN'S FLOOD MITIGATION WORK INCLUDES:

Some of the Most Recent Projects:

Beaufort County FY16 FMA & FY15 FMA
 Carolina Beach FY13-15 FMA
 Pamlico County (FMA16) and Rescopement
 Craven County (FY16) FMA
 Pender/ Onslow County House Raising and Foundation Plans (2013)
 Town of Windsor 2016 HMGP
 Town of Tarboro Hurricane Matthew FY16 HMGP
 Catawba County FY 2016 HMGP
 Hyde County FY 16/15/14/13 HMGP

Appian has extensive experience in elevation raising projects; Appian performed a pre-elevation inspection of each structure, provided a technical feasibility analysis for structures requiring design modifications, developed foundation drawings and specifications based on the NC Residential Building Code and provided on-site inspections and review of the contractor's work as needed. Appian engaged in similar with

(See map enclosed with this submittal.) Elevations include both AE and VE zones (the latter being Ocean Hazard). In addition, we assisted in repairs, recovery and elevation raisings for projects relating to *Hurricane Fran, Floyd, Isabel, Irene and Matthew*.



Elevation Raising
 Belhaven, NC

RELATED STRUCTURAL WORK INCLUDES:

1. Residential & Commercial Forensic Investigations:
 - Mr. Joyner has performed over 2,500+ residential structural inspections; many of which related to foundation problems. His charge was to determine cause and provide recommendations and/or design documents for foundation stabilization/repair.
 - Design pre- and post-construction helical piling plans for both residential and commercial buildings throughout NC & VA. This particularly includes HMGP elevation raisings in high wind zones.
 - Mr. Joyner has extensive soils experience having managed and overseen soils testing services while employed with the City of Rocky Mount and as a branch of Appian Consulting Engineers.

2. Examples of other types of foundation design include:
 - Building & Foundation design for Engineered Metal buildings for Industrial, Commercial, Churches, Municipal and Private companies/individuals.
 - Asphalt Batch Plants Foundations
 - Drying Towers Foundations
 - Microwave Antenna Guy foundations (using helical piers)
 - Drying Pits
 - Rail loading facilities (dump pits, push walls, etc.)
 - Conveyor trusses and foundations for same
 - Grain Silo foundations
3. Design, Contract Documents, Specifications & Project Management Examples:
 - Tarboro Commerce Center
 - Edgecombe County IDF Grant 2007 – Fountain Industrial Park
 - Nash County CDBG 2010: Drake Community Center
 - Town of Wake Forest Street Paving Program 2009-2011
 - Town of Wake Forest Street Paving Program 2012/2013
 - City of Rocky Mount Judicial Center Reroofing (19,600 sf), 2018
 - City of Rocky Mount Tar River Dam Bascule Gate Hydraulic Cylinder Replacement, 2017
 - City of Rocky Mount WWTP Building Repairs 2013
 - City of Rocky Mount Railroad Tobacco Loading Platform Inspection, 2013
 - City of Wilson Lake Wilson Bikeway/ Pedestrian Bridge Design crossing Lake (900LF), 2018
 - City of Wilson WWTP Improvements, Structural Design 2016/17
 - City of Wilson Fire Stations – Air Quality and Envelope Evaluation and Design, 2011
 - Waste Industries Maintenance Facility Expansion, Structural and Site Design, 2018
 - City of Rocky Mount Wastewater Treatment Plant Sludge Pumping Station (2 stations) 2013
 - City of Rocky Mount Fleet Maintenance Tire Repair Facility 2013
 - City of Raleigh WWTP Maintenance Facility 2013
 - City of Henderson CDBG-HD 2007
4. Related Contract Document Experience: Appian authored & copyrighted a Public Facilities Manual developed specifically for Engineering & Public Works Departments. Some of the municipalities that have our manuals include:
 - City of Wilson Manual of Specifications, Standards and Design 2008 with annual updates
 - Town of Clayton Manual of Specifications, Standards and Design
 - City of Greenville Manual of Specifications, Standards and Design 2010
 - City of Durham Manual of Specifications, Standards and Design 2012
 - Town of Wake Forest Manual of Specifications, Standards, and Design 2000 & 2012 updates
 - OWASA W&S Manual of Specifications, Standards and Design

OTHER ENGINEERING PROJECTS PERFORMED BY APPIAN:

- Neuse Sports Shop (Cedar Point, NC)
- ABC Store - Atlantic Beach
- ABC Store - Cape Carteret
- Triangle Tyre (2.3 million SF/400 acre Manufacturing Facility)
- Barnhill Asphalt Plant (New Bern)
- Sylvan Heights Water Fowl Visitor Center
- Josey Lumber Co. (Scotland Neck)
- Inborden Elementary School
- Tarboro FEMA Temporary Mobile Home Park Hurricane Floyd
- Edgecombe County Industrial Incubator and Conference Center
- Edgecombe County Public Schools: Stocks Elementary Bus Parking
- Rocky Mount Judicial Center, Reroofing
- Edwards Crane Steel Fabrication Complex
- Crossing @ 64: Mixed Use Development
- ABC Store – Beaufort County
- Edgecombe County IDF Grant 2007
- Braswell Milling Company (Tarboro)
- Terminix Conference Center
- Smith Creek Wastewater Treatment Plant Maintenance Building 2013 (City of Raleigh)
- Whitakers Business Center Shell Building
- OIC for the City of Rocky Mount
- Universal Leaf (13 million SF Manufacturing Facility)
- Nab's Deli (Rocky Mount, NC)
- City of Rocky Mount L&M Stemmary Building (SSMR Roof repair)
- Nash Community College Maintenance Facility Expansion.
- Nash Community College Culinary Arts Shelter
- QVC Distribution Center (Rocky Mount, NC. Norfolk, VA. Florence, SC)

Scope of Services

PRE-CONSTRUCTION/DESIGN SERVICES:

- Appian will be providing the pre-construction phase and design services of this project. This scope of work includes: Conduct pre-design meeting with homeowners and pre-design inspection of each structure, prepare elevation feasibility report for each house, prepare preliminary design drawings and sketches concerning design concept, review termite inspection report and asbestos report to incorporate work items into specifications that are necessary to address problems found in reports, advise if project requires additional reports, data, information or other services outside the scope of preliminary design services, design and certify new foundation, prepare final plans, specifications and contract documents necessary for the elevation work, and prepare preliminary cost estimates.
- Appian will compile an engineering report on each structure and make recommendations to the program administrator as to whether or not the structure could either economically or structurally be elevated. Detailed photographic survey of structure will be made logging locations and types of existing distress observed during the initial inspection.
- Each house will be inspected (attic framing, interior, exterior and crawl space). If areas of the crawl space are inaccessible, we can send in our "Spiderbot" camera to inspect the inaccessible areas.
- Sorrell Land Surveying, Inc., will conduct a property survey and include identification of easements and encroachments and prepare survey plat. Elevation certificates will be obtained and the final finished floor elevation will be determined based on the BFE plus the applicable locally required freeboard.

Scanning Technology Saves Time and Improves Accuracy

- Each house will be scanned by a Lidar 3D Geospatial Scanner. This machine captures its environment in more than 43,000 points a second within a full horizontal and vertical range of sight. The processing software aligns the captured data to formulate a 3D point cloud. Once the imagery is mapped, the area can be viewed in 2D and 3D. Measurements can be extracted from the data and a floor plan can be developed.
- Obtain field measurements of the interior, exterior and crawl space of each house. After a comprehensive load analysis (wind and gravity loads), and using field notes and inspection findings, develop new foundation plans. From the engineered drawings, prepare construction documents which include:
 - Existing and proposed foundation plan, foundation and floor framing notes, and construction details (connecting existing wall to the new floor, piling/ floor framing connection, cross bracing, etc.).

Bidding Services:

- Holland will also be providing coordination of activities with the County Building inspector, County Finance Office, County Emergency Management Staff, etc.
- Holland will also be involved in tasks for bidding services such as: assisting in advertisement for bids and distribution of project documents, responding to project related technical inquiries, preparing and distributing addenda if required, conducting the pre-bid conference, conduct bid opening, tabulating bids, reviewing and evaluating bids and bidder qualification submittals, negotiating bids as appropriate, recommend awarded bid, submitting bid tabulations and recommendation for award to Board of Commissioners, and assisting in preparation and execution of contract documents.

Construction Phase:

- Holland will provide limited on-site inspection and review of Contractor's work at the request of the County, including written documentation that the completed foundation and accesses were properly constructed.
- Holland will provide the following: Review and evaluation of contractor's proposed work schedule, submittals, shop drawings and material substitutions, conduct pre-construction conference, prepare construction progress reports, conduct minimum twice weekly site visits, conduct periodic site visits by geotechnical engineer, if require, to monitor foundation construction, prepare electronic photographic record of house components affected by elevation work before, during and after completion of work. Interpret contract documents, plans, and specifications, approve of change orders, approve payment to contractor, conduct final inspection of elevation work, including reconnection of utilities, closeout construction contract, and prepare post-mitigation elevation certificate certifying finished floor elevation.
- Depending on the conditions exposed during demolition, modify plans as needed to adapt to latent field discoveries. In most cases Appian's engineers are able to evaluate the soils and render an opinion as to suitability or recommend subgrade improvements necessary to stabilize a weak subgrade. For difficult projects, we call in a Geotechnical Engineer.

Sample plan excerpts from both previous , and elevation projects are included in this proposal.

Featured Projects Overview

Carolinas Gateway Partnership and Edgecombe County engaged Appian to conduct due diligence and respond to RFI's from Triangle Tyre (Project Diamond). Appian presented the site and guided the site consultants and Triangle Tyre representatives through their due diligence process; attending all meetings and responded to follow up RFI's. Subsequent to Triangle Tyre selecting Kingsboro Industrial Park as their first new US manufacturing facility. Due to the new unique method of incentivizing the project, Appian provided project administration as the Engineering and project management representative for Edgecombe County. Tasks provided by Appian included, but were not limited to:

1. Filing for infrastructure grants (GoldenLEAF and IDF).
2. Worked with CGP, Edgecombe County and their attorneys in the development of the Incentive Agreement.
3. Provided design services for the NCDOT for Phase I Pad Ready Site Design and Specs for a 2.3 million square foot manufacturing facility comprising 225 acres of disturbed area. Work involved incorporating rail, power, gas, water and sewer and site hardscape elements furnished by Triangle Tyre into the pad grading and drainage design. Developed geometric site transportation elements.
4. Assisted the NCDOT's Environmental Consultants in filing Wetland permits and Tar-Pam Buffer permits.
5. Appian developed Marketing literature/products consisting of
 - a. A 11x14 hardbound book that contained Geospatial mapping and reports completed for prospective clients.
 - b. A 2-minute video/3D fly around model of the proposed facility
 - c. A 5-minute video of the site developed by Appian from aerial photos and videos taken from both helicopters and in-house drones. The movie has been shown to prospective industrial clients in Europe, India, and China; the later translated to Mandarin.
6. Design and permitting for Erosion and Sedimentation control plans for site and Stormwater Management.
7. Liaison between Triangle Tyre, their Site Consultants, Engineers, NCDOT, Barnhill Contracting, and Edgecombe County, the Wooten Company (W&S Infrastructure Engineering Consultant), coordination and tracking of project, etc.
8. Wholly looking after the County and CGP's interest in the project.



The passenger line facility is scheduled to be complete and operational by late 2020.

Status:
Construction in Progress

Project Cost:
\$26.3 million site package
\$ 650 million total facility projected

Mr. Norris Tolson, President
Carolinas Gateway Partnership
252.442.6120

Appian has provided structural inspections, evaluations and recommendations for several thousand structural projects. A few projects similar in scope are listed below.

- 5516 Colonial Drive (Residence), Charlotte, NC: 2-story home on fill had substantial subsidence due to consolidation of fill. Entire home was wrought with foundation subsidence and associated cracking in floor and walls. Designed a system to shore/stabilize entire foundation. Replaced first floor concrete floors with a reinforced concrete floor tied to reinforced grade beams with new post-construction helical piers. Pressure grouting voids in blind areas also employed. Provided construction inspection.
- Two-story Brick Veneer Home in Lake Point Subdivision (Belmont/Rocky Mount): 1-year old home had excessive foundation subsidence in the alluvial soil subgrade which caused severe cracking of the brick veneer exterior and associated settlement of the interior of the whole home. Appian designed a helical pier system comprised of 56 post-construction helical piers to shore/stabilize the foundation and interior pier system. Contractor repaired brick veneer and interior cracks after shoring system installed.
- Roomstore Distribution Whse, Tanner Road (Rocky Mount): In 2012, Appian provided structural inspection, evaluation and engineering analysis of an industrial floor slab that had heaved and settled as a result of the blowout of an 8" fireline beneath the floor slab. Coring, sounding and topographical survey of the post-settled floor was employed to determine the extent of floor movement, rebound and voids left below the floor. Investigation/analysis also included verifying whether or not columns footings had settled (which could have translated into potential roof ponding). Recommendations and estimates provided for remedial repairs. Repairs involved floor removal replacement at heaved/suspended sections and pressure grouting some slabs to both lift slab and fill voids.
- Station Square Elevator Shaft (Rocky Mount): Exterior elevator shaft with hydraulic piston lift system had settled and leaned to the exterior. Water was entering pit and creating hazards for maintenance personnel. Appian provided design/construction recommendations and oversaw remedial repairs for both lifting/stabilizing/realigning the shaft and waterproofing to stop groundwater infiltration in the pit.
- Golden Leaf Crossing Fire Line Blowout (Rocky Mount): Provided inspection and recommendations for remedial repairs to subgrade and slab from fireline blowout (services provided were similar to Roomstore in scope). Pressure grouting and piling employed.

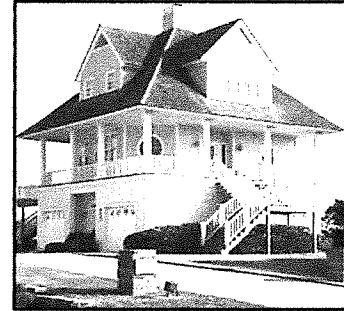
After Hurricane Matthew, sensitive electronic and servers vital to the 911 call center flooded. The City of Wilson contacted Appian to and requested we provide recommendations for a new elevated equipment building. Appian produced a concept in which a new 16' x 20' x 8' high prefabricated reinforced concrete building would be placed on top of a new 26' x 28' cast-in-place reinforced concrete platform. The platform will be supported by reinforced concrete columns which in turn rest upon a reinforced concrete grade beam supported by augured helical piers. Appian providing design, contract administration, construction inspections and processed payment requests.

Status:
Under Construction

Project Est. Cost:
\$105,000

Mr. Linwood Tyndall
Headend Technician
City of Wilson, NC
Greenlight Engineering
252.399.2189

Appian provided complete structural design for a number of new single family beachfront dwellings in *North Topsail Island* (135 mph wind zone design speed, a finished floor elevation two feet above the 100 BFE, knock out panels, flood vents, deck assemblies isolated from the main structure, corrosion resistant fasteners, and bracing/reinforcing for pilings, tall walls, window jack studs, headers, etc.).



Manuals of Specifications, Standards and Design

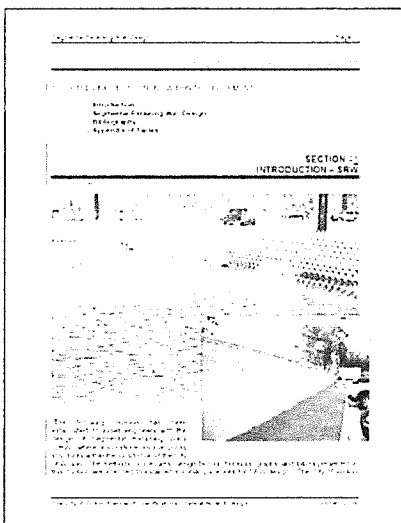
With user-friendly isometric and exploded views of each detail, City staff and Contractors know exactly what's expected... at a glance. Appian has partnered with numerous municipalities to provide the technical expertise to a public facilities manual using our Copyrighted MuniSpec© data base. We provide: standard details and specifications, design modules (streets, water, sewer, storm drainage, flexible pavement, etc.), and policies. The City-specific Manual of Specifications, Standard Details and Design is developed *by* former city engineers *for* city engineers and public works officials.

Typical Features of Manuals we Provide:

1. User friendly
2. Contains latest ASTM, AASHTO and AWWA Specification
3. Searchable (in editable and uneditable versions), iPad friendly version
4. FREE Web Hosting of Manual
5. Isometric and Exploded views on all details
6. Details are hyperlinked to Specs
7. Table of Contents is hyperlinked to text
8. Optional update service.
9. Specifications are detailed in execution and product description
10. Pre-approved product list

"None of the other firms we talked to had a Municipal Manual that was as *comprehensive, detailed* and easily *customized to our needs*. The standard details are great."

Tom Wilson, PE
Director of Streets
City of Lynchburg, VA



Municipalities to whom we have provided a copyrighted Manual of Specifications, Standards and Design include:

County, Carrboro, Chapel Hill and UNC at Chapel Hill

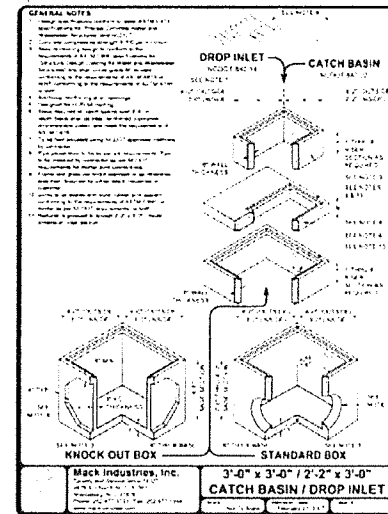
serving Orange

Details for Pre-Cast Manufacturers

For the past 15 years, Appian has provided isometric and exploded view details on our construction drawings and Public Facilities Manuals; the purpose being to clearly convey the intent of the detail to those in the trenches. Two-dimensional details can often be confusing. As a result of precast manufacturers using our drawings to prepare takeoffs for the contractor, the clarity and simplicity of the details caught the eye of management. Appian was asked to develop catalogues for a number of precasters on a national basis... *order their catalogue and you'll see Appian's name in the border of every detail!*

National Precast Manufacturer Catalogues Include:

- Carolina Precast (Hanson)
- Fralo Plastics/ Roth Global (NY)
- Dellinger (NC)
- Mack Industries (NC, OH)
- NC Pipe (TX)
- Albuquerque Vault Company (NM)
- Ideal Precast (NC)



Patents and Copyrights

Appian's extraordinary breadth and depth of expertise is demonstrated by the fact that our company president has three (3) patents with the United States Patent Office. The *"Downspout Energy Dissipater Splash Pad with Spillway"* is an industrial sized splash pad on large industrial buildings with large roof areas that has been used on several Appian projects. The *"Method of Treating Stormwater Runoff and Domestic Waste with Coal Ash"* is a "green" BMP that treats stormwater runoff and domestic sewage using recycled high carbon coal ash (research conducted and confirmed by Virginia Tech). Appian has been designing site with recycled coal ash for more than 20 years, saving clients great expense while protecting the environment. In addition to the copyrighted Public Works Manual of Specification Standards and Design (MSSD), Mr. Joyner has also authored: *"10 Successful Steps to Successfully Developing a Public Facilities Manual"* and *"A Design Manual for Boardwalk and Footbridge Design"*

"After 25 years of... construction, I can genuinely say that I have never seen a more **complete, detailed, accurate** and generally professional set of civil documents... Working with your firm has been one of those experiences I will remember for the rest of my career, and will set my future **standard for judging excellence** in civil engineering consultants. It has truly been a pleasure."

Thomas R. Gillerest
Director, Design Build Services
Butler Construction

Industrial Splash Pad: Patent No. 7,052,212

Method of Treating Stormwater Runoff and Domestic Waste with Coal and Ash: Patent No. 7,311,844

Boardwalk and Footbridge Design Criteria: No. TXu-2-111-467.

Method of Treating Domestic Waste with Cool Ash: Patent No. 7,455,780

Manual of Specifications: Standards and Design (US Copyright): Registration No. Txu 1-788-389

Current HMGP Workload

Appian was again selected by Beaufort County for the Hazard Mitigation Grant Program (HMGP) for the elevation of three residential structures. The houses selected in this portion of the contract are the largest houses in the Beaufort County FY16 contract. The field work for the project has been finished and design is complete. The houses are out for bid.

The Town of Windsor selected Appian for the Hazard Mitigation Grant Program (HMGP) for the elevation of four residential structures. Field work and design is complete and the projects have been bid and are under construction. The current contract also contains four more homes. Inspections have been completed and final design is underway.

Hyde County recently selected Appian for the Hazard Mitigation Grant Program (HMGP) for the demolition and development of three houses. Design is complete, the projects have been bid and the houses are under construction.

Current Non HMGP Workload

- Nash County Farm Bureau, Rocky Mount (10%)
- Triangle Tyre Site Design and Project Administration (90% of Phase 1 complete)
- Tarboro Commerce Center Shell Building (30% Complete)

References

Mr. Dale Holland, AICP, President

Holland Consulting Planners
3329 Wrightsville Avenue, Suite F Wilmington, NC 28403
910.392.0060/

Mr. Don Baumgardner

Planning Director, Craven County
2828 Neuse Blvd.
New Bern, NC 28561
252.636.6618/

Tim Buck

County Manager, Pamlico County
302 Main Street
Bayboro, NC 28515
252.745.3133/

Mr. Allen Castelloe

Town Administrator
Windsor, NC
252.794.3121

Miscellaneous

Appian is on the
industrial rail spur design by

of Hydraulic Design Studies and is regularly referred to for

1. **Quality Assurance and Quality Control**

Client and contractors repeatedly tell us that we're doing it the right way... by providing a level of detail and clarity that is unsurpassed by other firms. Appian's commitment to excellence in quality assurance related to engineering design, data collection, drafting and contract administration is demonstrated in our triple-check method of review and use of state-of-the-art design software. Appian uses the latest release of AutoCAD and Civil3D by Autodesk to provide computer aided design (cad) documents, and regularly submits cad files to the City for incorporation into City GIS.

2. **Legal Issues**

There are no lawsuits, Federal, State or local tax liens, or any potential claims or liabilities pending against Appian or any of the officers of our firm. In fact, in the past three decades of the company's existence, there has never been a lawsuit filed against our firm for any reason.

3. Appian is on the of Hydraulic Design Studies and is regularly referred to
for industrial rail spur design by . We have FAA Licensed FAA Drone Pilots on staff, and
maintain a certificate of insurance for worker's compensation and professional liability (errors and
omissions) of at least \$1,000,000.

Poised to Proceed

We look forward to serving Jones County on this project.

END OF RFP



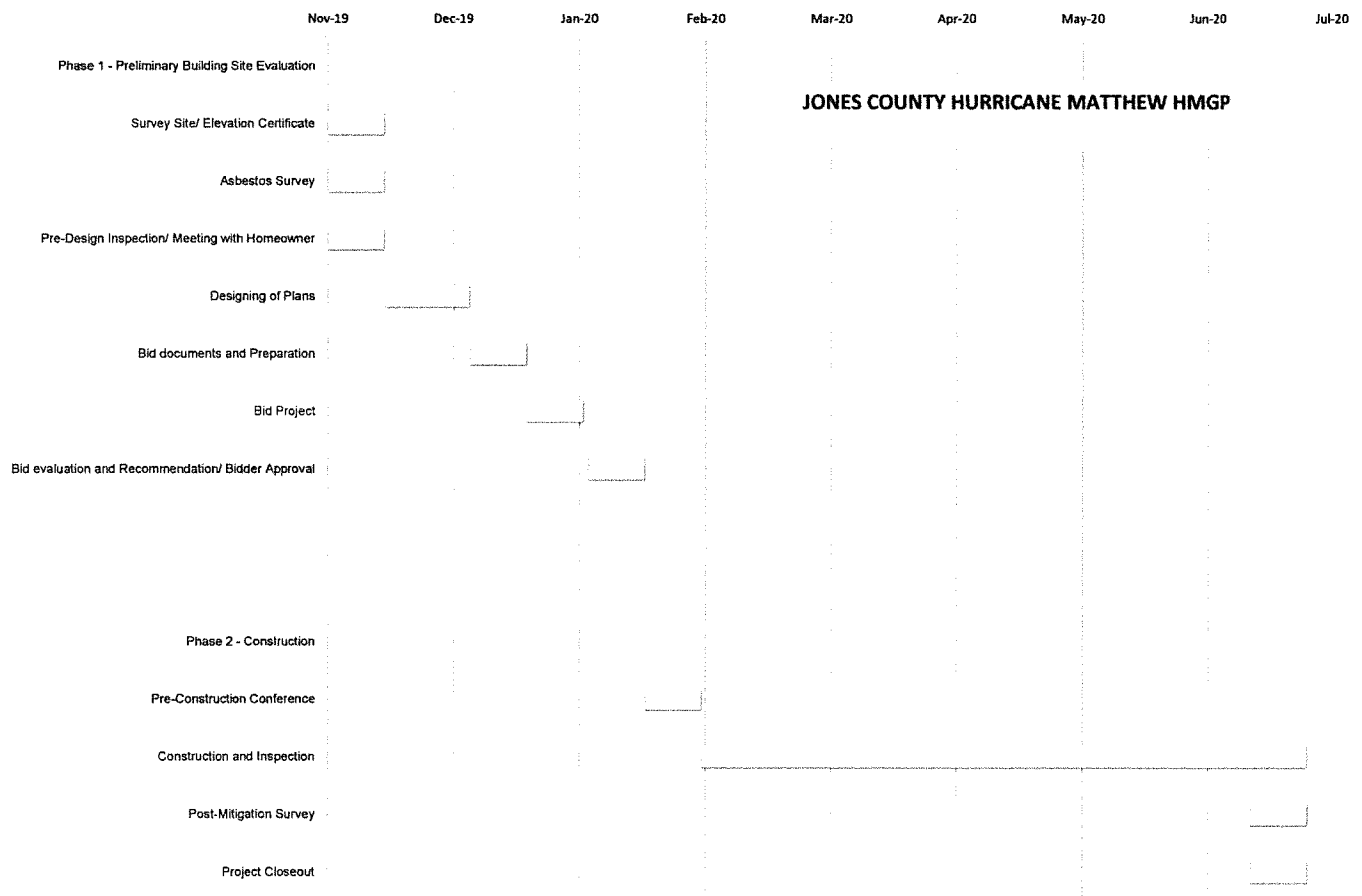
CONSULTING ENGINEERS, PA
CIVIL, MUNICIPAL & STRUCTURAL ENGINEERS
COMPREHENSIVE ENVIRONMENTAL SERVICES
P.O. Box 7966, Rocky Mount, N.C. 27804
Phone: (252) 972-7703
Fax: (252) 972-7638
www.appianengineers.com
BLN = C0562

Project Mangement - Gantt Chart

Jones County Hurricane Matthew HMGP

Appian
Appian Consulting Engineers, PA
PO Box 7966, Rocky Mount, NC 27804
Ph: 252.972.7703 Fax 252.972.7638

TASKS	Responsible Party	% Complete	Start Date	Duration (Days)	End Date
Phase 1 - Preliminary Building Site Evaluation					
Survey Site/ Elevation Certificate	Appian	0%			
Asbestos Survey	Appian	0%			
Pre-Design Inspection/ Meeting with Homeowner	Appian/Holland	0%			
Designing of Plans	Appian	0%			
Bid documents and Preparation	Appian	0%			
Bid Project	Holland	0%			
Bid evaluation and Recommendation/ Bidder Approval	Holland	0%			
Phase 2 - Construction					
Pre-Construction Conference	Holland	0%			
Construction and Inspection	Contractor/Holland	0%			
Post-Mitigation Survey	Holland	0%			
Project Closeout	Holland	0%			





CONSULTING ENGINEERS, PA
CIVIL, MUNICIPAL & STRUCTURAL ENGINEERS
COMPREHENSIVE ENVIRONMENTAL SERVICES

Schedule of Reimbursables/ Hourly Rates

2019 Unit Rate Fee Schedule

Schedule of Reimbursables

Mileage	\$ 0.61/mile
Prints	\$ 1.15/sheet
Copies	\$ 0.15/sheet
Plan submission fees, permits, etc.	At cost
Mailings	At cost

Schedule of Hourly Rates

Percentage of
Total Work
(estimated)

Engineering Staff (Appian):

Administrative Staff	\$ 59.00	-
Drafting, CADD Technician	\$ 83.00	10%
Housing Inspector	\$ 85.00	20%
Project Manager	\$ 100.00	20%
Senior CADD Manager	\$ 106.00	5%
Surveyor (PLS)	\$ 120.00	5%
Project Engineer (NC PE)	\$ 137.00	5%
Principal/ President (NC PE)	\$ 165.00	30%
Survey Crew/Field Technician (Two Man Crew)	\$ 175.00	5%

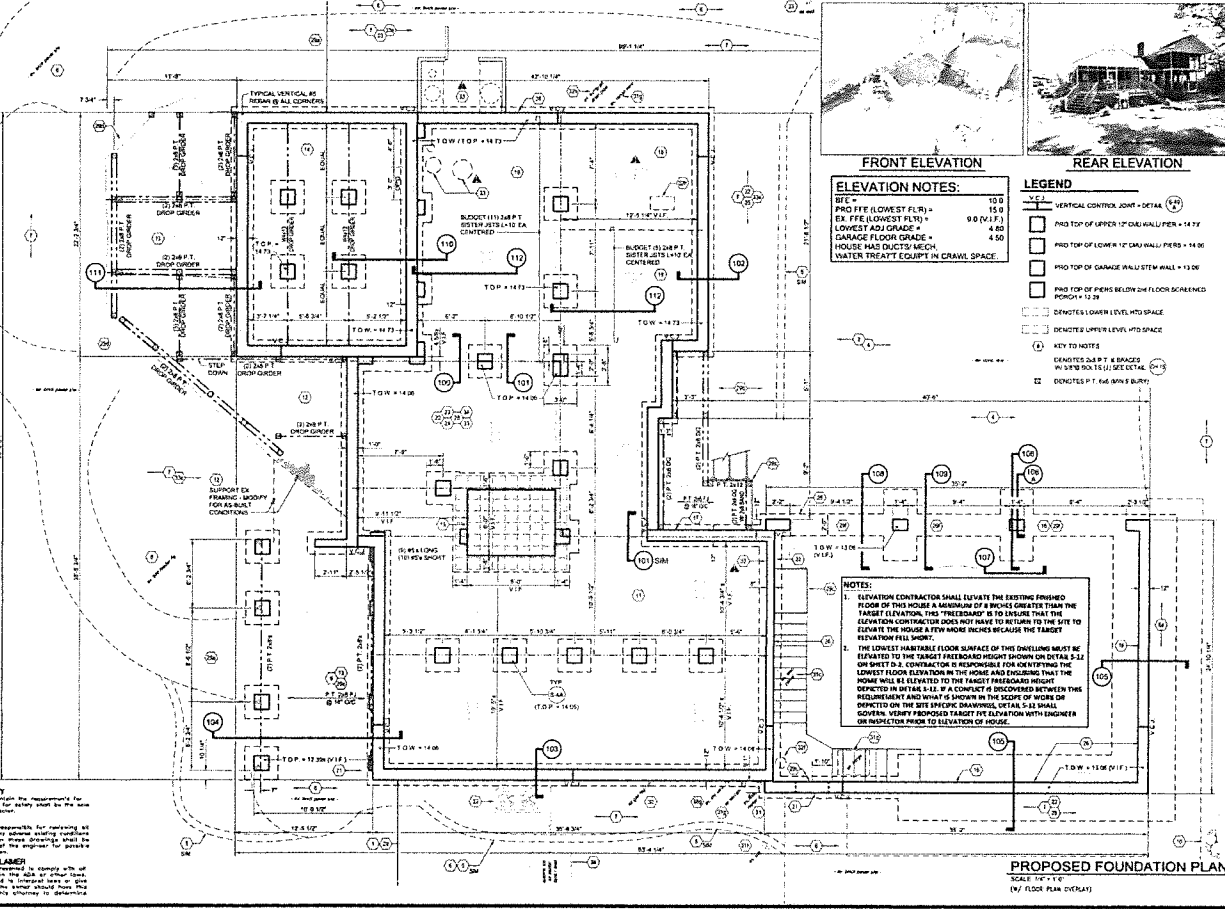
These rates are subject to revision in accordance with our firm's review process and may result in changes to the hourly rates listed above. Any changes shall be considered an amendment to and part of the original contract or proposal.



CONSTRUCTION SAFETY
These drawings do not contain the requirements for the safety of workers for safety used in the construction of the building.

EXISTING CONDITIONS
The contractor shall be responsible for verifying all existing job conditions, and where existing conditions conflict with those on these drawings, they shall be brought to the attention of the engineer for possible clarification or modification.

ADA AND LEGAL DISCLAIMER
This document is not represented in compliance with all requirements contained in the ADA or other laws. Engineers and the licensed, is intended here to show existing conditions only. No other intent to show document released by this authority to determine legal compliance.



ELEVATION NOTES:

- 1. PRO FIVE (LOWEST FIVE) = 10.0
- 2. EX. FIVE (LOWEST FIVE) = 9.0 (N.Y.)
- 3. LOWEST ADJ. GRADE = 4.00
- 4. GARAGE FLOOR GRADE = 4.50
- 5. HOUSE HAS DUCTS IN CRAWL SPACE
- 6. WATER TREATY EQUIPT IN CRAWL SPACE

LEGEND

- 1. VERTICAL CONTROL POINT - DETAIL (N.Y.)
- 2. PRO TOP OF UPPER 12\"/>

NOTES:

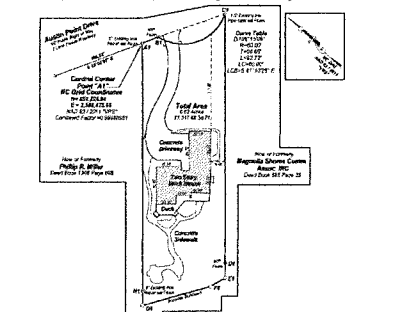
1. ELEVATION CONTRACTOR SHALL ELEVATE THE EXISTING FINISHED FLOOR OF THIS HOUSE A MINIMUM OF 8 INCHES GREATER THAN THE FASTEST ELEVATION. THIS "FREEBOARD" IS TO INSURE THAT THE ELEVATION CONTRACTOR DOES NOT HAVE TO RETURN TO THE SITE TO ELEVATE THE HOUSE A FEW MORE INCHES BECAUSE THE TARGET ELEVATION FELL SHORT.
2. THE LOWEST FINISHABLE FLOOR SURFACE OF THIS DWELLING MUST BE ELEVATED TO THE TARGET FREEBOARD HEIGHT SHOWN ON DETAIL S-12. IF THE ELEVATION CONTRACTOR IS RESPONSIBLE FOR OVERTYPING THE LOWEST FLOOR ELEVATION IN THE HOME AND ENSURING THAT THE HOME WILL BE ELEVATED TO THE TARGET FREEBOARD HEIGHT REQUIREMENT AND WHAT IS SHOWN IN THE SCOPE OF WORK OR DEPICTED IN DETAIL S-12. IF A CONFLICT IS DISCOVERED BETWEEN THE DEPICTED ON THE SITE SPECIFIC DRAWING, DETAIL S-12 SHALL GOVERN. VERIFY PROPOSED TARGET FIVE ELEVATION WITH ENGINEER OR INSPECTOR PRIOR TO ELEVATION OF HOUSE.

PROPOSED FOUNDATION PLAN
(BC#1605) 221 AUSTIN POINT DR.
WASHINGTON, N.C. - GRIFFIN
BEAUFORT COUNTY

BC#1605-B

(Revised 5/22/19)

- [illegible]

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2



DR.

TELETYPE

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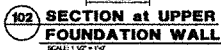
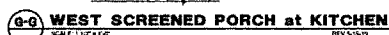
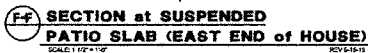
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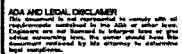
BB
HI
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1. The first step is to identify the problem or question that needs to be answered. This involves understanding the context and the specific requirements of the task.



BC-1805-D





TYPICAL 65 VERTICAL REEF AT ALL CORNERS
IN GROUT FILLED CELL

DEMOTES DOWELED VERTICAL CONTROL JOINT (V-CJ)
W/ (2) VERTICAL REBARS, ONE EACH SIDE OF JOINT
(SIZE TO MATCH VERTICAL WALL REINFORCEMENT) IN
GROUT FILLED CELL - SEE DETAIL
S-19A
FOR CONSTRUCTION AND
SPACING REQUIREMENTS

KEY TO NOTES



CONSULTING ENGINEERS, P.A.
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134 Foundabout Ct.
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Phone: (252) 972-7703
Fax: (252) 972-7638
www.optionsengineers.com
ed@optionsengineers.com



(#1501CC) 1317 B STREET.
CRAVEN COUNTY, N.C. - LONG
Craven County HMG
4019-031 Elevation Project

1501CC-B

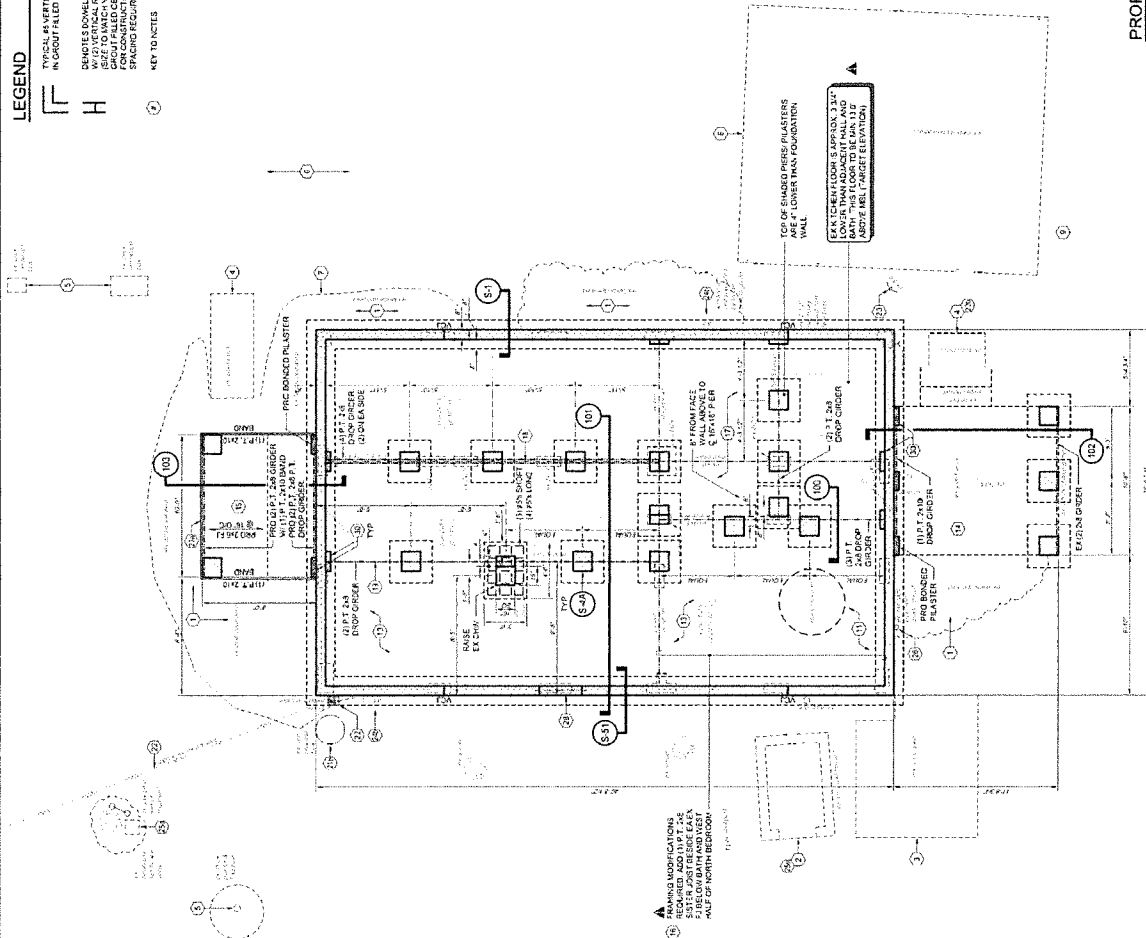
SCALE 1"=10'
PROPOSED FOUNDATION PLAN

ELEVATION NOTES:

PRO FFE ^W	13'2"
DFC ^N	9'0"
EX. FFE ^W	6'9"
LOWEST ADJ. GRADE ^N	4'8"

NO DUCTS IN CRAWL SPACE

*SURVEY DOES NOT INDICATE WHICH PART OF HOUSE THIS WAS OBTAINED.



NOTES:

1. ELEVATION CONTRACTOR SHALL ELEVATE THE EXISTING FINISHED FLOOR OF THIS HOUSE A MINIMUM OF 8 INCHES GREATER THAN THE TARGET ELEVATION. THIS "FREEBOARD" IS TO ENSURE THAT THE ELEVATION CONTRACTOR DOES NOT HAVE TO RETURN TO THE SITE TO ELEVATE THE HOUSE A FEW MORE INCHES BECAUSE THE TARGET ELEVATION FEEL SHORT.
2. THE LOWEST HABITABLE FLOOR SURFACE OF THIS DWELLING MUST BE ELEVATED TO THE TARGET PREBOARD HEIGHT SHOWN ON DETAIL S-1.2 ON SHEET S-1.2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ENSURING THAT THE HOME WILL BE ELEVATED TO THE LOWEST FLOOR ELEVATION IN THE HOME AND THAT THE TARGET ELEVATION HEIGHT SHOWN ON DETAIL S-1.2. IF A CONFLICT IS DISCOVERED BETWEEN THE TARGET FLOOR ELEVATION HEIGHT OBSERVED IN THE SCOPE OF WORK OR DEPicted ON THE SITE SPECIFIC DRAWINGS, DETAIL S-1.2 SHALL GOVERN. WHEN PROPOSED TARGET FLOOR ELEVATION HEIGHTS VARY WITH AN INSPECTED FLOOR ELEVATION OF HOUSE.



CONSTRUCTION SAFETY
These drawings do not contain the requirements for job safety. All provisions for safety shall be the sole responsibility of the contractor.

EXISTING CONDITIONS: The contractor shall be responsible for reviewing all existing job conditions. Any adverse existing conditions affecting work shown on these drawings shall be brought to the attention of the engineer for possible elimination or remediation.

ADA AND LEGAL DISCLAIMER
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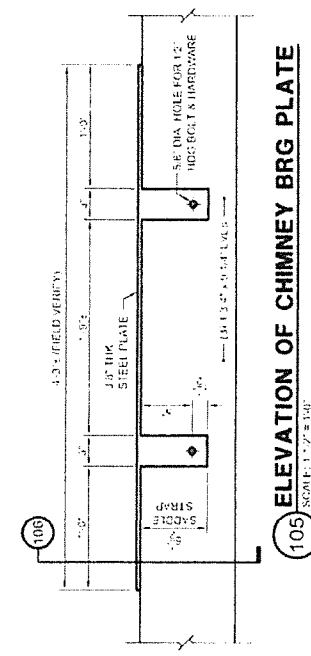
NO.	DATE	REVISIONS
1	01/10/10	AS NOTED
2	01/10/10	AS NOTED



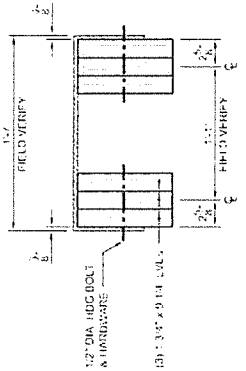
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info@ce-engineers.com

CONSTRUCTION DETAILS & NOTES for

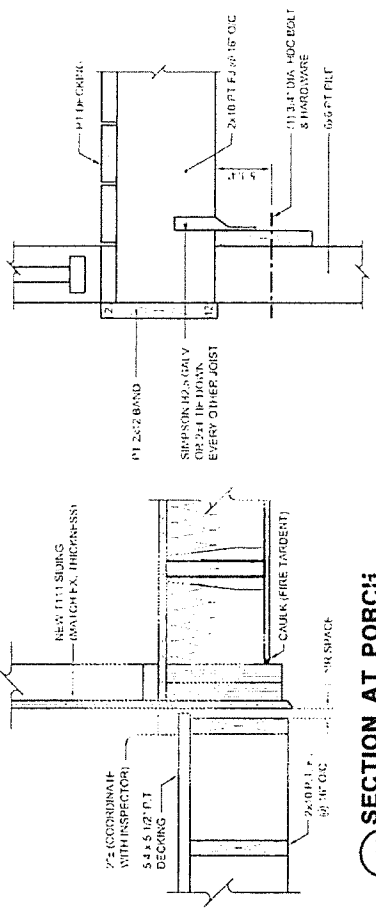
SD-103
P-1000
S-4



105 ELEVATION OF CHIMNEY BRG PLATE
SCALE: 1/2" = 1'-0"



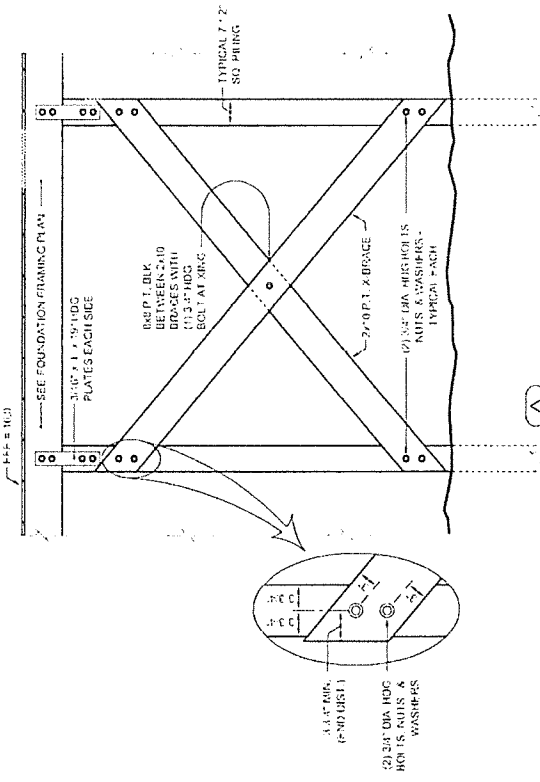
106 SECTION OF CHIMNEY BRG PLATE
SCALE: 1/2" = 1'-0"



104 DECK FLOOR FRAMING
SCALE: 1/2" = 1'-0"

102 SECTION AT PORCH
SCALE: 1/2" = 1'-0"

NOTE: IF ANY MATERIAL ABUTS T111 SIDING, FLASHING TO BE PROVIDED



103 TYPICAL X-BRACING DETAIL
SCALE: 1/2" = 1'-0"

